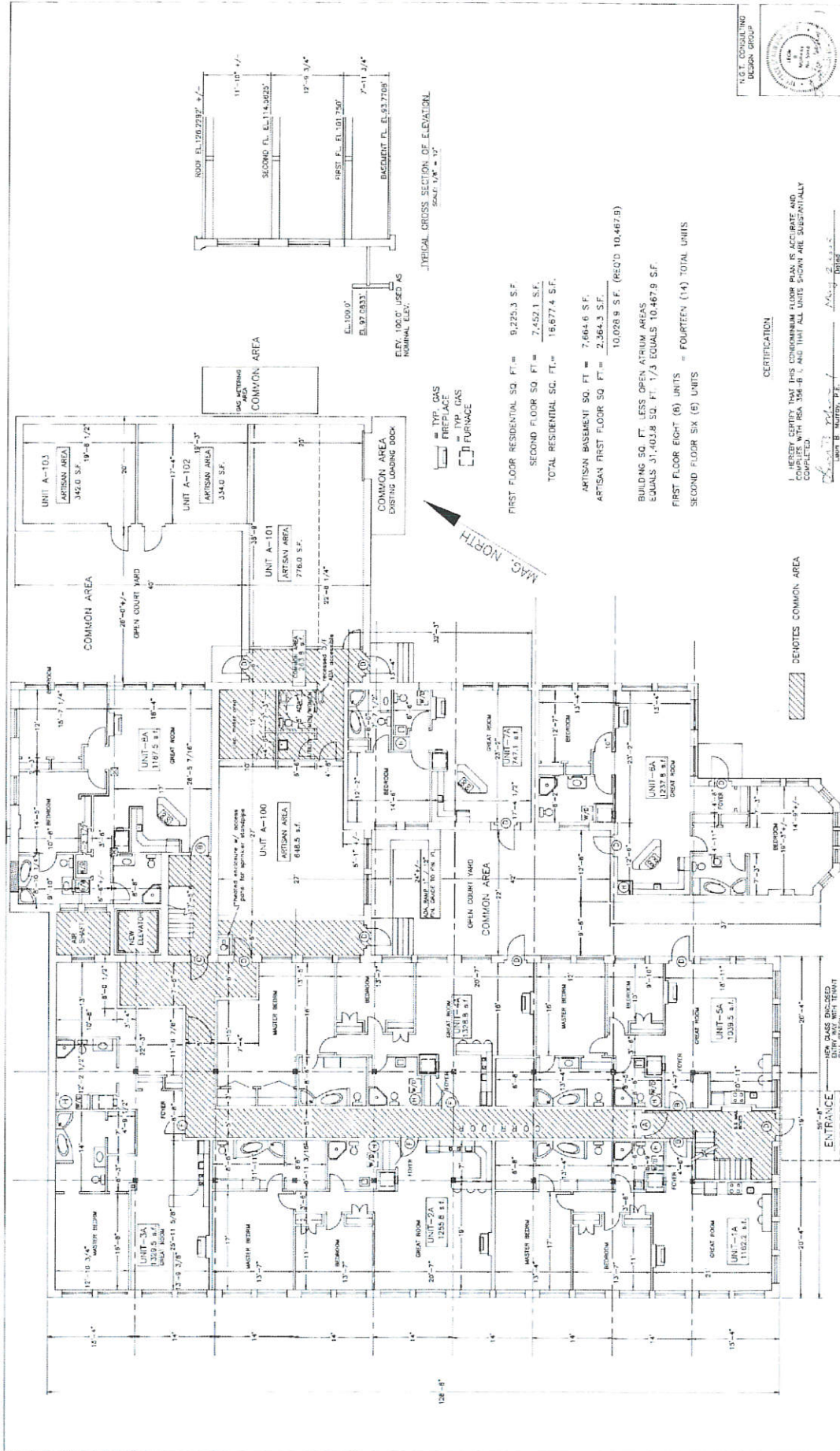


REVISION 4, 2/10/11



VERTICAL CROSS SECTION OF ELEVATION
SCALE 1/8" = 1'

FIRST FLOOR RESIDENTIAL SQ. FT. = 9,225.3 S.F.
SECOND FLOOR SQ. FT. = 2,452.1 S.F.
TOTAL RESIDENTIAL SQ. FT. = 11,677.4 S.F.
ARTISAN BASEMENT SQ. FT. = 7,664.6 S.F.
ARTISAN FIRST FLOOR SQ. FT. = 2,364.3 S.F.
TOTAL SQ. FT. (REQ'D 10,467.9)
BUILDING SQ. FT. LESS OPEN ATRIUM AREAS
EQUALS 31,402.8 SQ. FT. 1/3 EQUALS 10,467.9 S.F.
FIRST FLOOR EIGHT (8) UNITS = FOURTEEN (14) TOTAL UNITS
SECOND FLOOR SIX (6) UNITS

CERTIFICATION
I, HERBERT CHIEF, HAVE CONSIDERED THESE PLANS AS ACCURATE AND COMPLETE WITHIN THE MEANING AND INTENT OF ALL APPLICABLE CODES AND REGULATIONS. I AM A LICENSED ARCHITECT IN THE STATE OF NEW HAMPSHIRE.
HERBERT CHIEF, ARCHITECT
N.G.T. CONSULTING



REV	DESCRIPTION	DATE
F	NOT 10/20/09 PER REVISION SHEETS	10/20/09
D	NOT 10/20/09 ADDITION COMMON AREA, WALKWAY	10/20/09
C	NOT 08/03/09 Revised based on	08/03/09

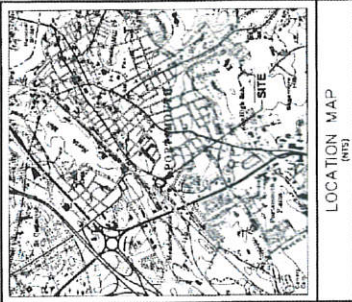
NOTE: THIS DRAWING DESIGN IS THE SOLE PROPERTY OF N.G.T. CONSULTING AND IS TO BE USED ONLY FOR THE PROJECT AND WITHOUT THEIR WRITTEN CONSENT IS IN DIRECT VIOLATION OF THE COPYRIGHT LAWS OF THE UNITED STATES

REVISION DESCRIPTION SCALE 1/8" = 12" SHEET 3 of 4

D-32619 sheet 3 of 4

N.G.T. CONSULTING
88 EMBRY'S BRIDGE RD
SOUTH BERWICK ME 03908
Tel./ Fax 1-207-384-2450 email: chief@nigt.net

201511-4, 11:01:00 029803



GENERAL NOTES

1. THIS SITE PLAN IS INTENDED TO PROVIDE INFORMATION SPECIFIC TO A PARTICULAR PROPERTY AND IS NOT TO BE USED AS A BASIS FOR ANY OTHER PROJECT.
2. ALL CONDOMINIUM UNITS ARE SUBSTANTIALLY COMPLETE.
3. PROPERTY LINE INFORMATION WAS TAKEN FROM REFERENCE 1.

REFERENCES

1. "MILWAUKEE LAND TITLE GREAT REACTION SHEET" U.S. BY ISLINGTON STREET, CITY OF PORTSMOUTH, WOODBOROUGH COUNTY, NH, PREPARED BY POST ROAD SURVEYING, DATED 12/17/08, REVISION 4 DATED 12/17/08.
2. "SITE PLAN FOR 871 ISLINGTON STREET, PORTSMOUTH, NH" PREPARED BY ATTOR ATTOR ENGINEERING, INC., DATED 02/27/09, REVISION B DATED 03/09/09, APPROVED BY THE CITY OF PORTSMOUTH PLANNING BOARD ON 03/16/09.
3. "SITE PLAN, 871 ISLINGTON STREET, PORTSMOUTH, NH" PREPARED BY ATTOR ATTOR ENGINEERING, INC., DATED 03/16/09, APPROVED BY THE CITY OF PORTSMOUTH PLANNING BOARD ON 03/16/09.

LEGEND

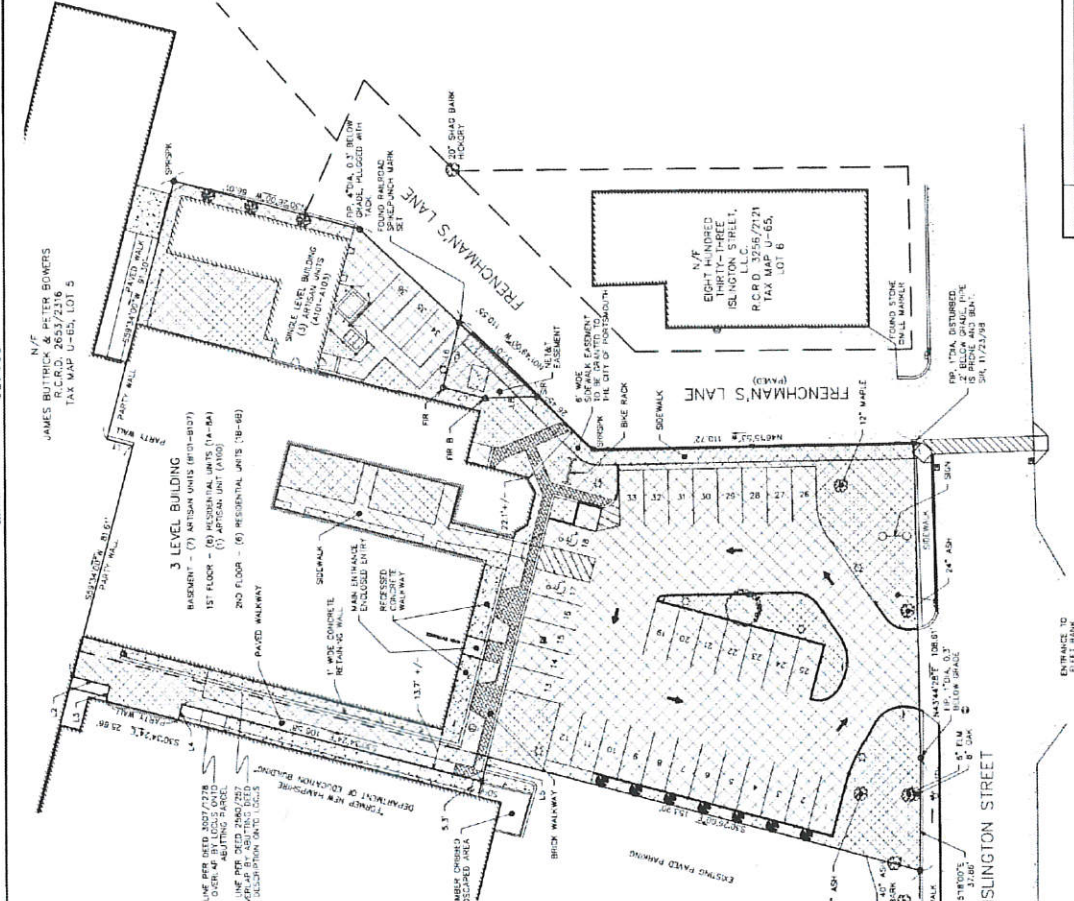
PROPERTY LINE	BOUNDARY
	BOUNDARY
	COMMON AREA
	NEW EASEMENT
	LANDSCAPED AREA
	SIDEWALK EASEMENT
	FOUND IRON PIPE, AS NOTED
	FOUND IRON ROD, AS NOTED
	SET BACK
	SET BACK WITH FINISH MARK

SET BACK 5 FT. FROM SIDEWALK, IDENTIFICATION CAP
 SET BACK 5 FT. FROM SIDEWALK, IDENTIFICATION CAP
 SET DRILL HOLE 5/8" DIAMETER MARK, IDENTIFICATION CAP
 SET DRILL HOLE 5/8" DIAMETER MARK, IDENTIFICATION CAP
 SET DRILL HOLE 5/8" DIAMETER MARK, IDENTIFICATION CAP

CONDOMINIUM SITE PLAN
 871 ISLINGTON STREET CONDOMINIUM
 871 ISLINGTON STREET
 PORTSMOUTH, NEW HAMPSHIRE
 TAX MAP U-65, LOT 4

FOR: GREAT ISLINGTON STREET, LLC
 100 MARKET STREET, SUITE 100
 PORTSMOUTH, NH 03801

ATTOR ATTOR ENGINEERING, INC.
 128 STATE ROAD - 41.01, MAIN, 03803
 PHONE: (603) 437-8222 FAX: (603) 437-8222
 APPLIED BY: *[Signature]*
 DATE: 11-1-2015
 REVISION: DATE



Sheet 1 of 4
D-32619



NO.	DESCRIPTION	DATE

PLATON, N/F CASSETTE
 ANDERSEN
 R.C.R.D. 2580/257
 TAX MAP U-65, LOT 3

THIS PLAN IS A CONDOMINIUM INSTRUMENT UNDER RSA 441:1-1 AND IS NOT A SUBDIVISION OF LAND.
 TRUE COPY CHAPTER 876, §§ 876:18-20.
 I HEREBY CERTIFY THAT THIS INSTRUMENT IS A TRUE COPY OF THE INSTRUMENT AS RECORDED IN THE PUBLIC RECORDS AND THAT NO NEW TAXES ARE DUE ON THIS INSTRUMENT.
 JAMES S. WRIGHT, JR. 5/09/2005
 DATE

5/09/2005
 DATE



5/09/2005
 DATE

5/09/2005
 DATE

5/09/2005
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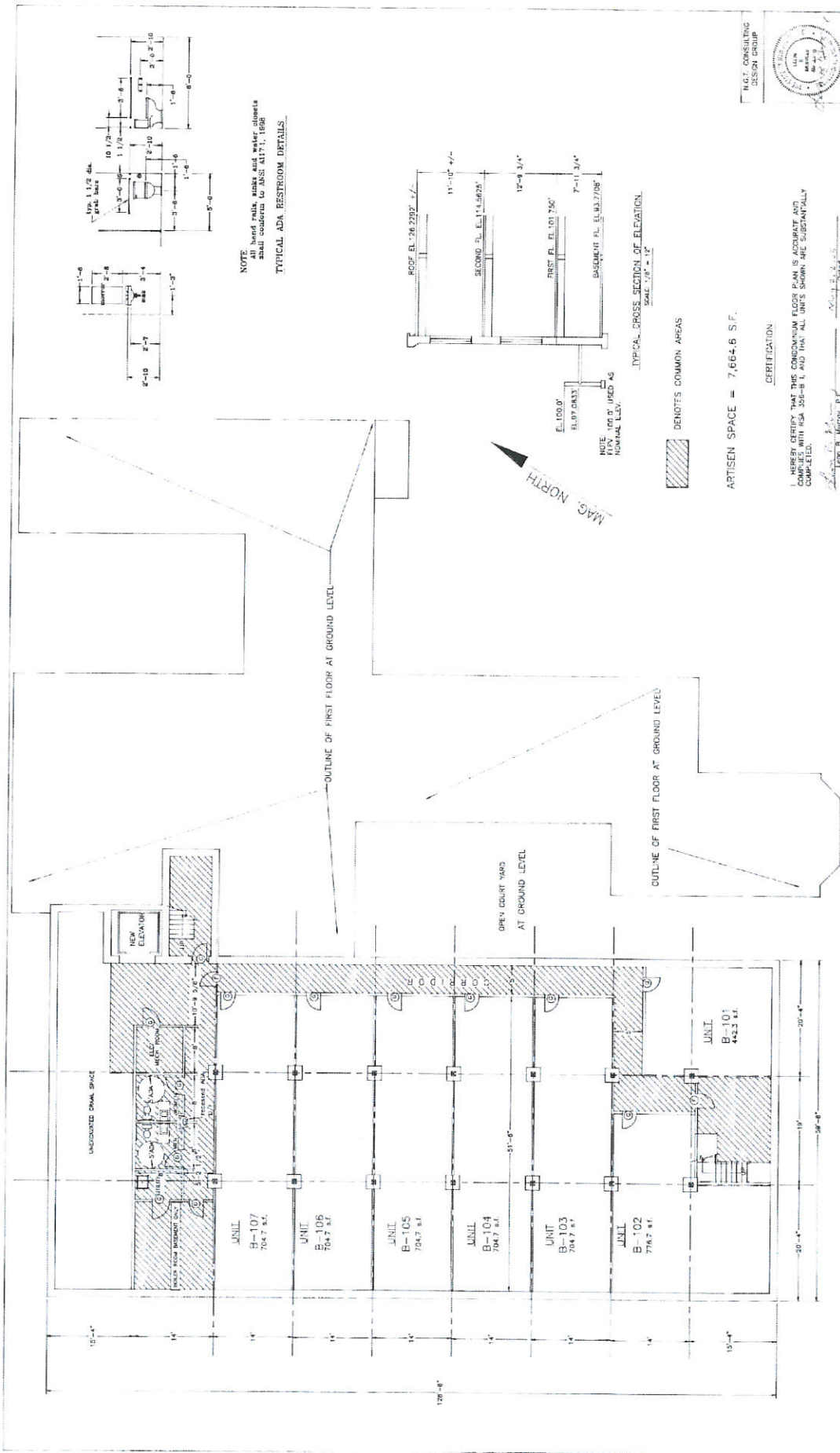
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 DATE

2015017-4.dwg:11



<p>N.G.T. CONSULTING 98 EMERY'S BRIDGE RD. SOUTH BERWICK, ME 03908 Tel./ Fax. 1-207-364-2450 email: chief@llc.net</p>		<p>NOTE: THIS DRAWING/REVISION IS THE SOLE PROPERTY OF N.G.T. CONSULTING AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THEIR WRITTEN CONSENT IS IN DIRECT VIOLATION OF THE COPYRIGHT LAWS OF THE UNITED STATES</p>	
REV.	REVISION DESCRIPTION	SCALE: 1/8" = 12"	REVISION
F	NOT ON 06/20/08 PER REQUEST OF REDDS	871 ISLINGTON ST. CONDOMINIUMS	BASEMENT FLOOR PLAN
E	NOT ON 02/20/05 REV. STAIR & RESTROOMS	ISLINGTON ST. PORTSMOUTH, NH	FILENAME: NGT-ISLINGTON-DG-1
D	NOT ON 02/07/04 AFTER CHANGE AREA MARKS	DWG. BY DATE	REVISED LAYOUT - 1
		NOT 07/20/04	SHEET 2 of F

D-32619 sheet 2 of 4



N.G.T. CONSULTING
 DESIGN GROUP

CERTIFICATION

ARTISEN SPACE = 7,664.6 S.F.

DESIGNER CERTIFIES THAT THIS CONDOMINIUM FLOOR PLAN IS ACCURATE AND COMPLETES WITH LOCAL, STATE & FEDERAL AND THAT ALL UNITS BORN ARE SUBSTANTIALLY COMPLETED.

Leean B. Murray, P.E.